



PHAP12-00035

Date: October 8, 2012
Application Type: Certificate of Appropriateness
Property Owner: City of El Paso
Representative: Richard Bransford
Legal Description: A vacated portion of Mills Avenue between Block 6 and 17, Mills Addition, City of El Paso, El Paso County, Texas.
Historic District: Downtown
Location: Vacated portion of Mills Avenue
Representative District: #8
Existing Zoning: C-5/H (Commercial/Historic)
Year Built: N/A
Historic Status: N/A
Request: Certificate of appropriateness for right of way improvements including landscaping, planting, paving, signage, lighting, and bench installation, and the relocation of a statue, at a vacated portion of Mills Avenue.
Application Filed: 9/17/2012
45 Day Expiration: 11/01/2012

ITEM #4



GENERAL INFORMATION:

The applicant seeks approval for:

The right of way improvements including landscaping, planting, paving, signage, lighting, and bench installation, and the relocation of a statue, at a vacated portion of Mills Avenue.

STAFF RECOMMENDATION:

The Historic Preservation Office recommends APPROVAL with modifications of the proposed scope of work based on the following recommendations:

The Downtown Historic District Design Guidelines recommend the following:

- *Sidewalks should be enhanced by installing brick pavers (or other decorative materials) along the edges and/or intersections.*
- *Generally fencing should be of brick and/or wrought iron.*
- *Trees should have tree grates and vertical tree guards similar to those at Pioneer Plaza.*
- *“Street furniture” usually refers to all outdoor stationary objects except for buildings and vegetation and represents all those manmade objects having the “potential for enlivening and giving variety to streets, sidewalks, plazas, and other outdoor spaces open to, and used by, the public.” Street furniture should be consistent with the character of the historic landmarks within the district.*
- *Street furniture should be selected, placed and maintained as part of the overall design scheme.*
- *Contemporary lighting fixtures should be replaced with period lights found in Pioneer Plaza.*
- *Signs constructed for landmark buildings or sites must be made of materials attributed to the era in which the building or site was constructed.*
- *Consolidating existing street furniture should also be considered. Traffic signs, lamp posts, trash receptacles, parking meters and mail boxes can clutter downtown sidewalks.*

The Secretary of the Interior’s Standards for Rehabilitation recommend the following:

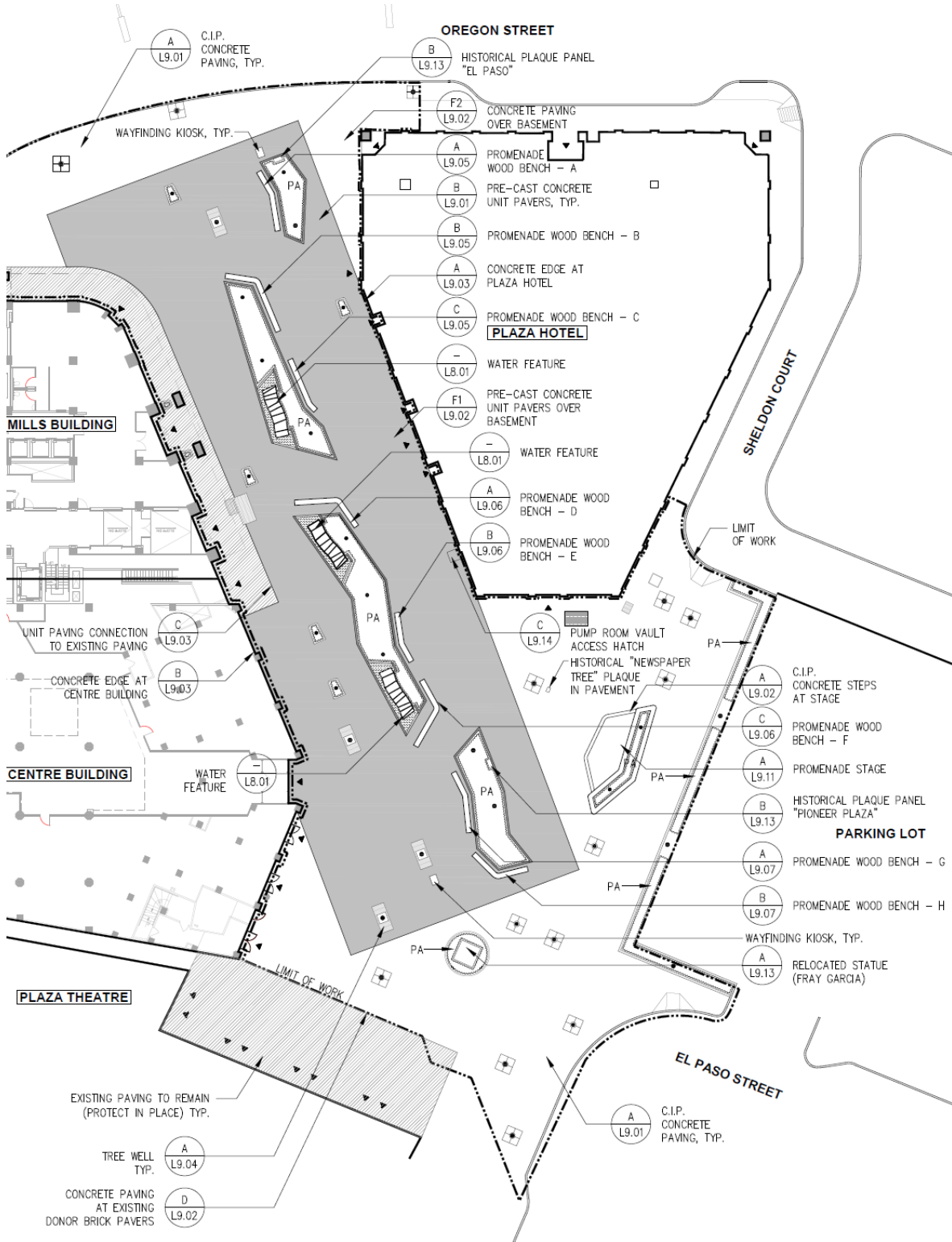
- Exterior alterations will not destroy historic materials, features, and spatial relationships that characterize the property.

The modifications are that the design of the light poles, benches, and sign be modified so that they are more in keeping with the historic character of the district.

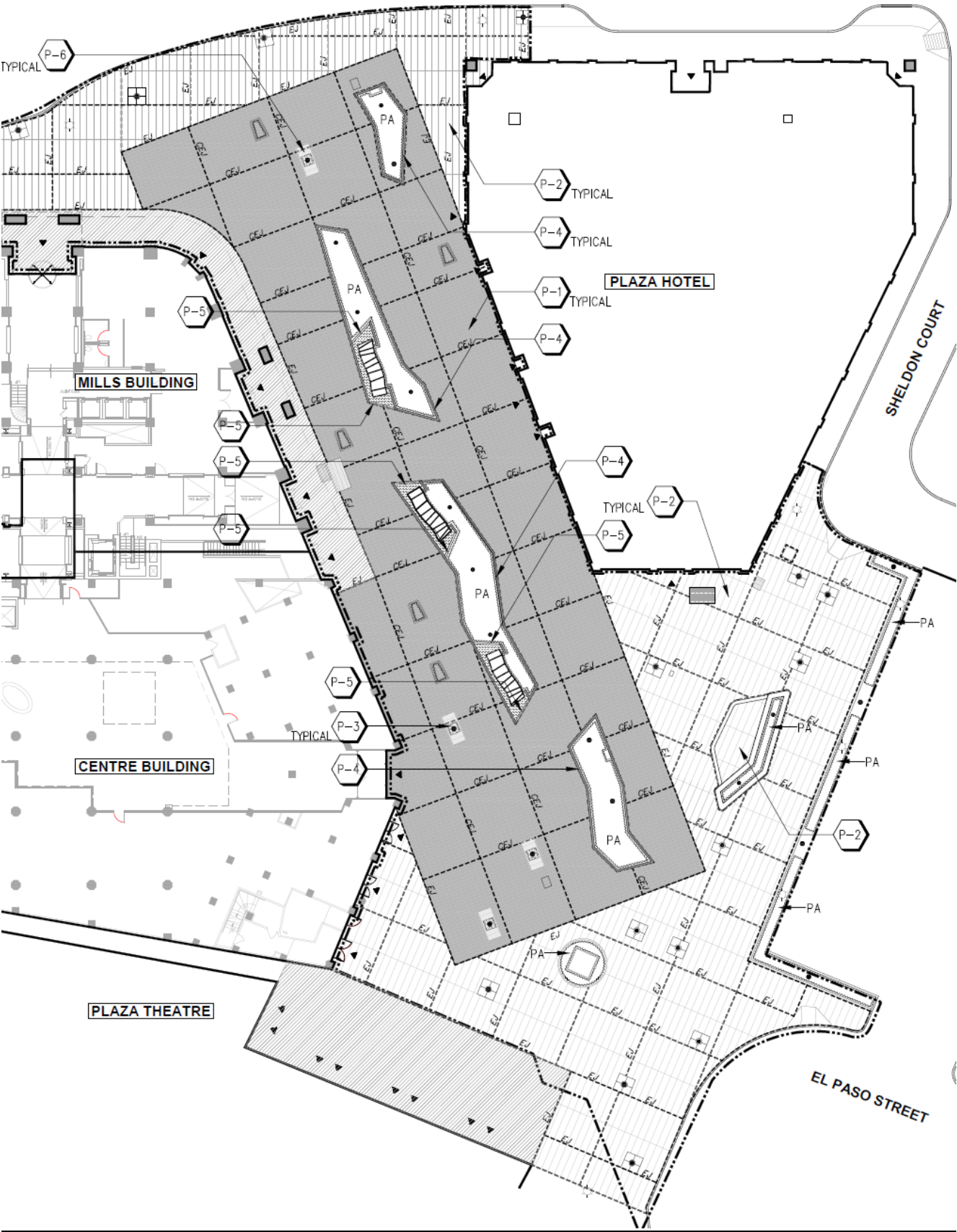
AERIAL MAP



SITE PLAN



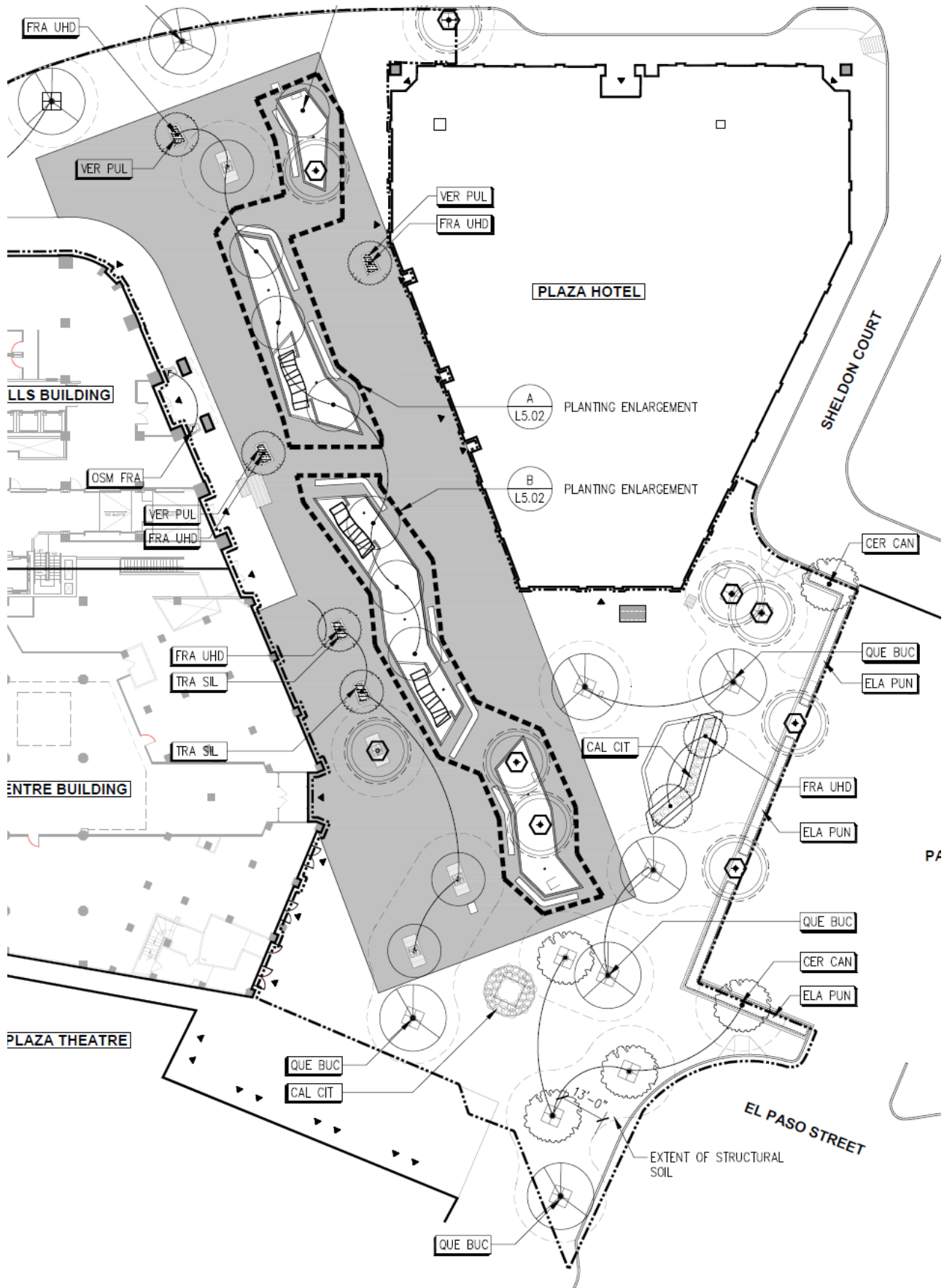
PAVING PLAN



PAVING LEGEND

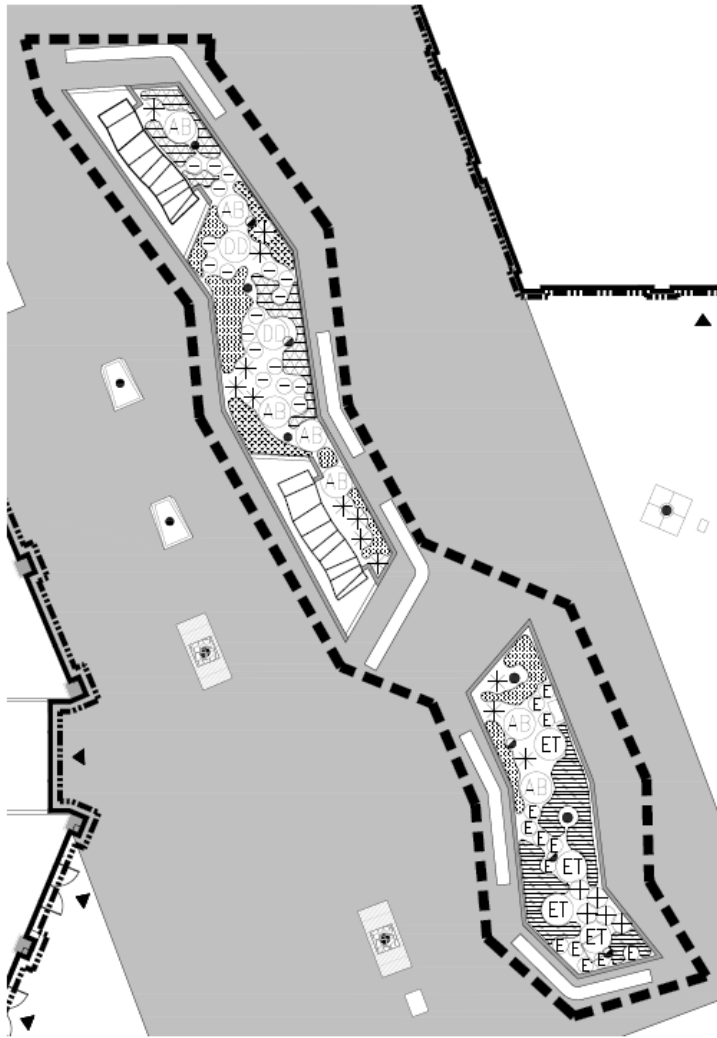
SYMBOL	ABBREVIATION	DESCRIPTION	DETAIL REFERENCE	TYPICAL LOCATION
	PAVING TYPE P1 4" THICK MORTAR SET	PRE-CAST CONCRETE UNIT PAVER. REFER TO SPECIFICATIONS. 3" X 18" X 4"	PRE-CAST CONCRETE UNIT PAVERS	MAIN PROMENADE PAVING
	PAVING TYPE P2 2-1/2" THICK MORTAR SET	CONCRETE WITH INTEGRAL COLOR & SAWCUT JOINTS. REFER TO SPECIFICATIONS.	C.I.P. CONCRETE PAVING PROMENADE STAGE	PERIMETER OF PROMENADE, STAGE, STEPS AND STAGE PLANTER RETAINING WALL
	PAVING TYPE P3 2-1/2" THICK MORTAR SET	GRAVEL MULCH. REFER TO SPECIFICATIONS.	GRAVEL MULCH	TREE WELLS.
	PAVING TYPE P4 2-1/2" THICK MORTAR SET	PRE-CAST CONCRETE UNIT PAVING EDGING. REFER TO SPECS. 6" X 18" X 2-1/2"	PAVER EDGING	PERIMETER OF PLANTING AND SIDES OF WATER FEATURE BASIN AREAS.
	PAVING TYPE P5 2-1/2" THICK MORTAR SET	PRE-CAST CONCRETE UNIT PAVING EDGING. REFER TO SPECS. 6" X 18" X 2-1/2"	PAVER EDGING WITH LIGHTING	ENDS OF WATER FEATURE BASIN AREAS.
	PAVING TYPE P6 4" THICK SAND SET	PRE-CAST CONCRETE UNIT PAVER. REFER TO SPECIFICATIONS. 3" X 18" X 4"	TREE WELL	TREE WELLS
	METAL EDGING	1/4" X 5" METAL EDGING	TREE WELL	TREE WELLS
	EXPOSED CONTINUOUS EXPANSION JOINT WITH SEALER	REFER TO SPECIFICATIONS	CONCRETE JOINTS	WHERE PAVING MEETS BUILDINGS, COLUMNS, WALLS, AND PER DRAWINGS.
	CONCEALED CONTINUOUS EXPANSION JOINT	REFER TO SPECIFICATIONS	CONCRETE JOINTS	SUBSLAB FOR PRE-CAST CONCRETE UNIT PAVERS PER DRAWINGS.
	SAWCUT JOINT	REFER TO SPECIFICATIONS	CONCRETE JOINTS	PER DRAWINGS.
PA	PLANTING AREA	REFER TO LAYOUT AND PLANTING PLANS		PER DRAWINGS.
	EXISTING PAVING	TO REMAIN AND PROTECTED IN PLACE		PER DRAWINGS.

PLANTING PLAN



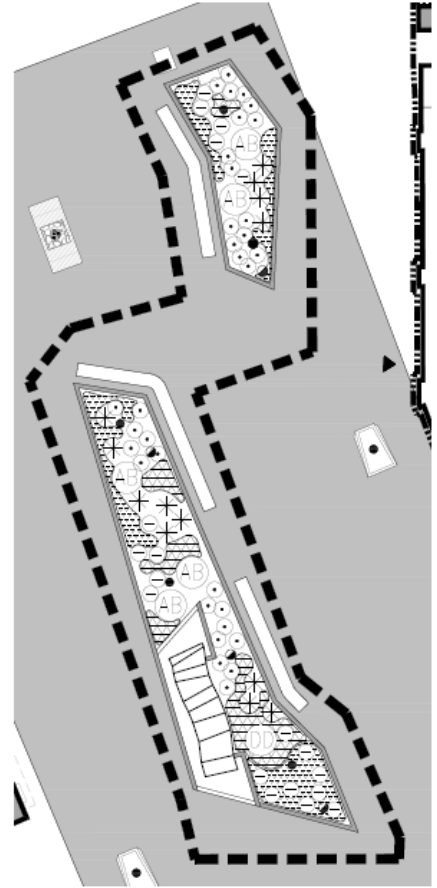
PLANTING LEGEND							
SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS	DETAIL REF.
TREES							
	CER CAN	CERCIS CANADENSIS TEXENSIS 'OKLAHOMA'	TEXAS REDBUD	24" BOX STANDARD HEIGHT: 8-10' SPREAD: 3-5'	PER PLAN	FULL, DENSE, SYMMETRICAL, WELL-ROOTED, SPECIMEN QUALITY. DECIDUOUS.	
	FRA UHD	FRAXINUS UHDEI 'RIO GRANDE'	FAN TEXAS ASH	36" BOX STANDARD HEIGHT: 9'-11' SPREAD: 5'-7'	PER PLAN	FULL, DENSE, SYMMETRICAL, WELL-ROOTED, SPECIMEN QUALITY. DECIDUOUS.	
	FRA UHD	FRAXINUS UHDEI 'RIO GRANDE'	FAN TEXAS ASH	24" BOX STANDARD HEIGHT: 8'-9' SPREAD: 3'-4'	PER PLAN	FULL, DENSE, SYMMETRICAL, WELL-ROOTED, SPECIMEN QUALITY. DECIDUOUS.	
	QUE BUC	QUERCUS BUCKLEYI	TEXAS RED OAK	36" BOX STANDARD HEIGHT: 10'-12' SPREAD: 5'-7'	PER PLAN	FULL, DENSE, SYMMETRICAL, WELL-ROOTED, SPECIMEN QUALITY. DECIDUOUS.	
	EXISTING TREE, TYPICAL. PROTECT IN PLACE. SEE SPECIFICATIONS FOR TREATMENT. REFER TO NOTES ON SHEET L9.15 TREE PROTECTION GUIDELINES.						
SHRUBS/GROUNDCOVERS							
	CAL CIT	CALLISTEMON CITRINUS 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GALLON	30" O.C. PER PLAN	FULL, DENSE, WELL-ROOTED, SYMMETRICAL	
	ELA PUN	ELAEAGNUS PUNGENS 'FRUITLANDII'	SILVERBERRY	5 GALLON	30" O.C. HEDGE SPACING	FULL, DENSE, WELL-ROOTED, SYMMETRICAL	
	OSM FRA	OSMANTHUS FRAGRANS	SWEET OLIVE	5 GALLON	PER PLAN	FULL, DENSE, WELL-ROOTED, SYMMETRICAL	
	TRA SIL	TRADESCANTIA SILLAMONTANA	WHITE VELVET	1 GALLON	6" O.C. TRIANGULAR SPACING	FULL, DENSE, WELL-ROOTED, SYMMETRICAL	
	VER PUL	VERBENA PULCHELLA	MOSS VERBENA	1 GALLON	6" O.C. TRIANGULAR SPACING	FULL, DENSE, WELL-ROOTED, SYMMETRICAL	
	-	GRAVEL MULCH	-	REFER TO SPECS	COVERS SOIL IN ALL PLANTERS	REFER TO SPECS	
		BIGNONIA CAPITATA 'TANGERINE BEAUTY'	CROSS VINE TANGERINE BEAUTY	5 GALLON	ADD ALT. IN FENCE POTS	FULL, DENSE, WELL-ROOTED, SYMMETRICAL	

ENLARGED PLANTING PLANS



B PLANTING ENLARGEMENT

1" = 10'-0"



A PLANTING ENLARGEMENT

1" = 10'-0"

The site plan shows the Plaza Hotel and its surrounding area. The Plaza Hotel is a large building with a central lobby and several wings. The Mills Building is located to the west of the Plaza Hotel, and the Centre Building is located to the south. The Plaza Theatre is located to the south of the Centre Building. Sheldon Court is located to the east of the Plaza Hotel. El Paso Street is located to the south of the Plaza Hotel. The plan includes various rooms, corridors, and outdoor areas. Key features include the Plaza Hotel lobby, the Mills Building, the Centre Building, the Plaza Theatre, and Sheldon Court. The plan also shows the El Paso Street and the Plaza Hotel entrance. The plan is a detailed architectural drawing with various symbols and labels.

MILLS BUILDING

PLAZA HOTEL

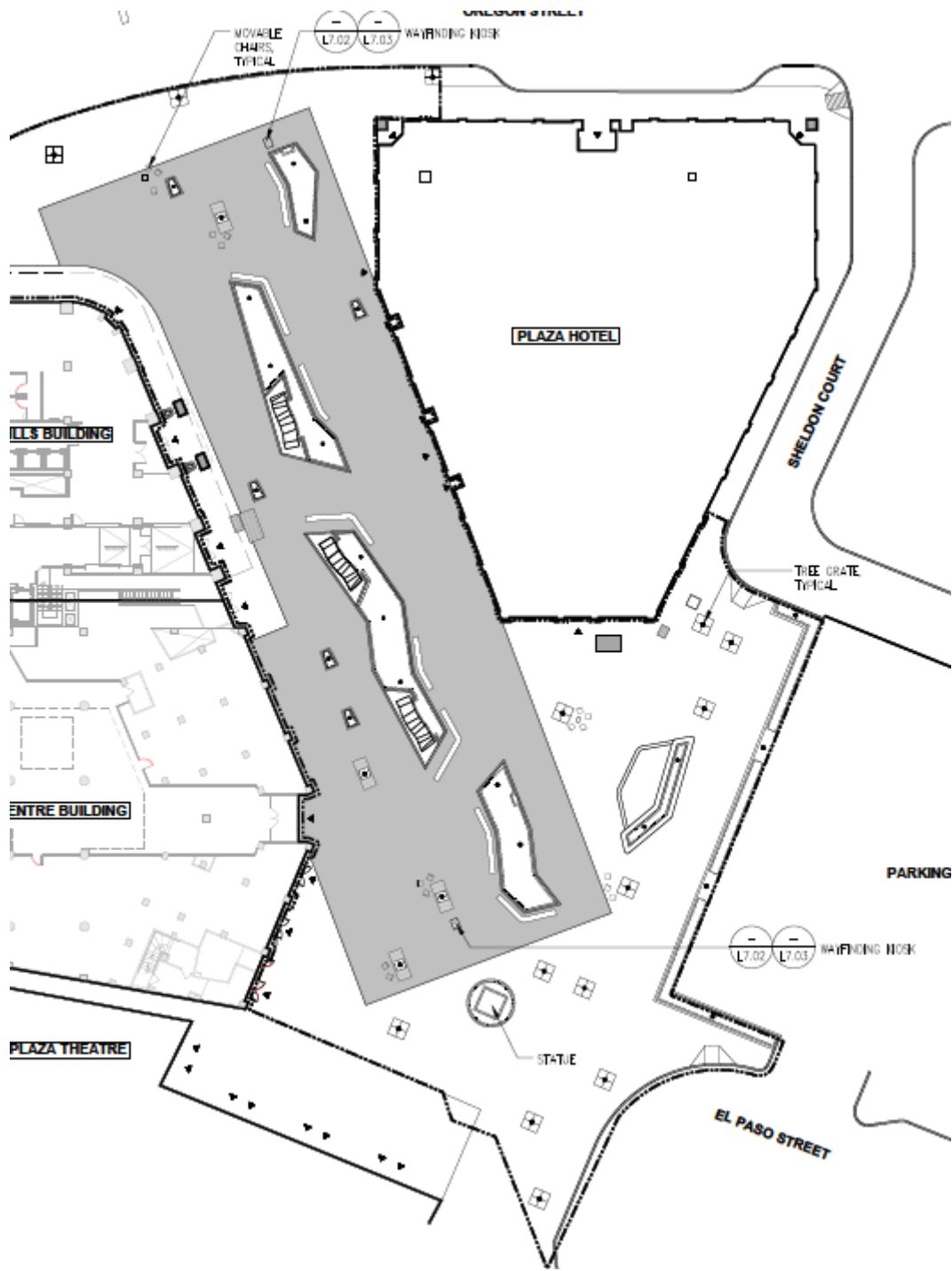
SHELDON COURT

CENTRE BUILDING

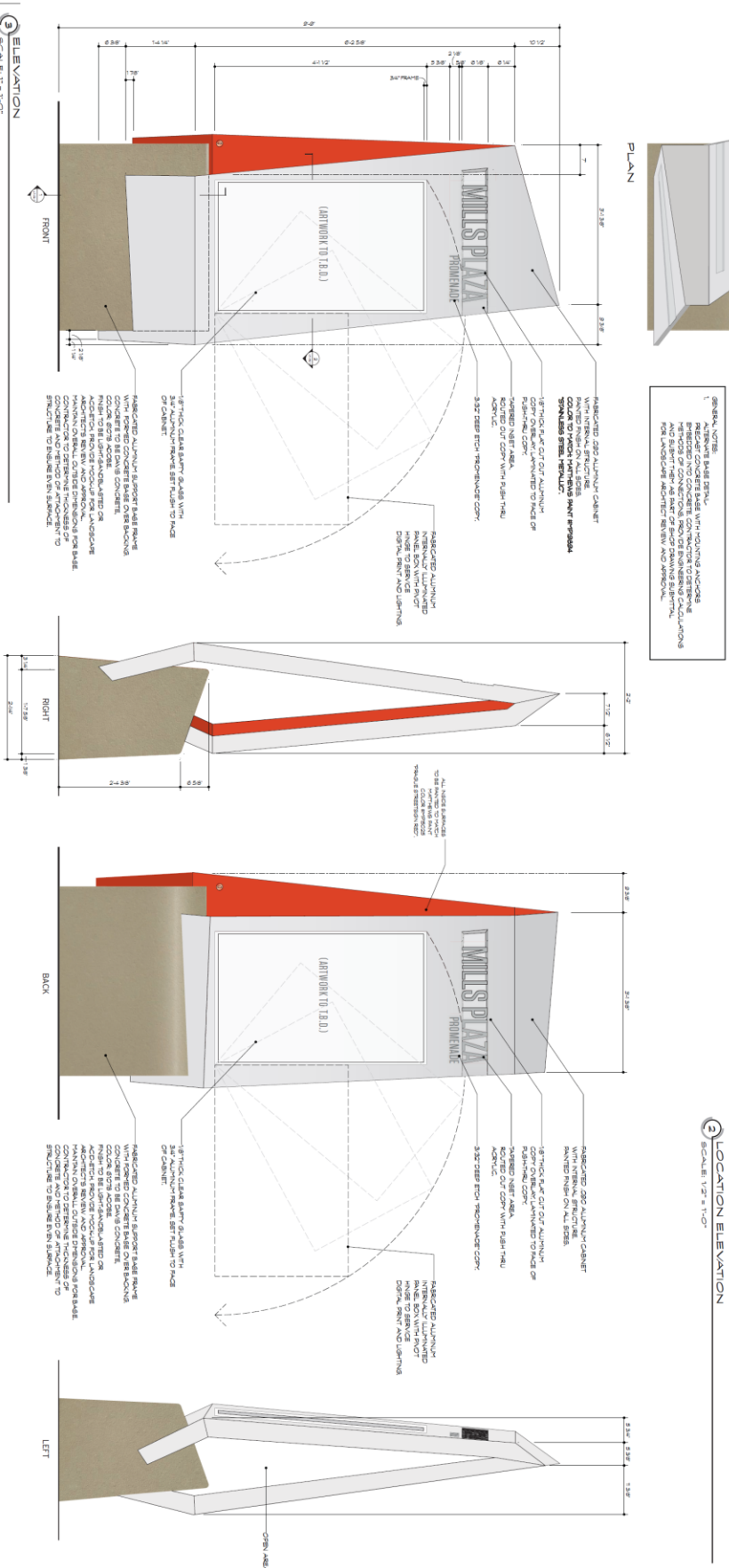
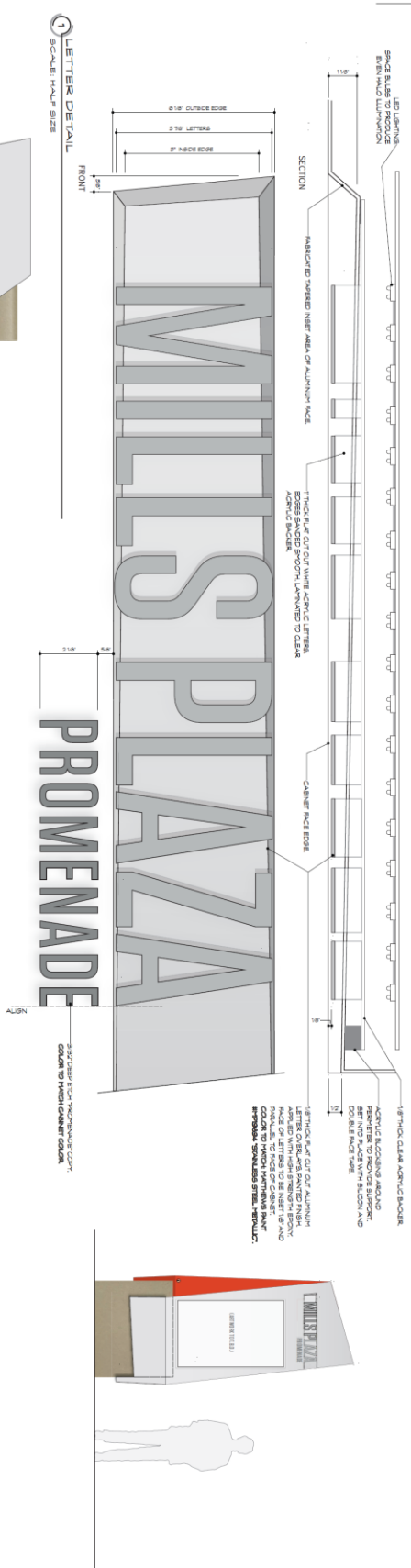
PLAZA THEATRE

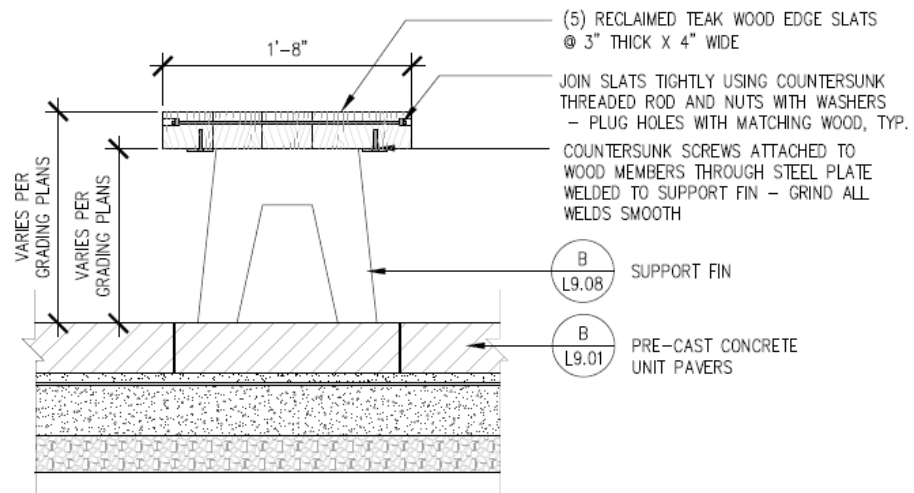
EL PASO STREET

FURNISHINGS PLAN

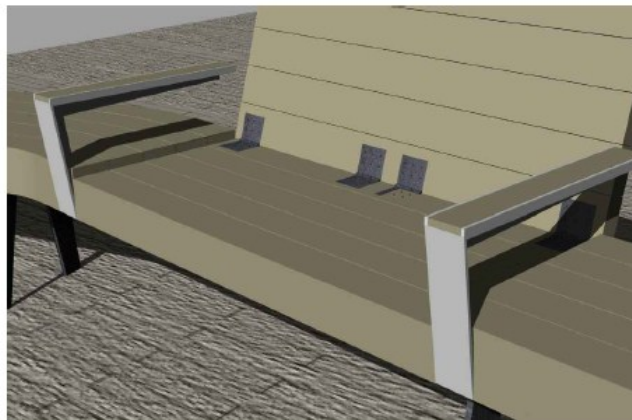


WAYFINDING KIOSK





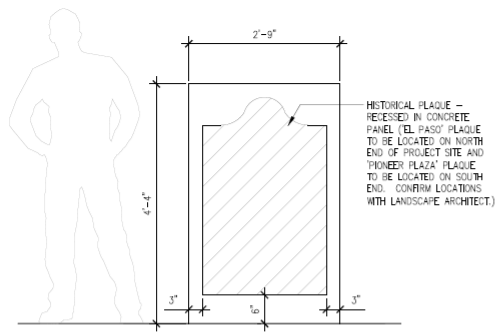
D PROMENADE WOOD BENCH – END 3" THICK SLATS
1-1/2" = 1'-0"



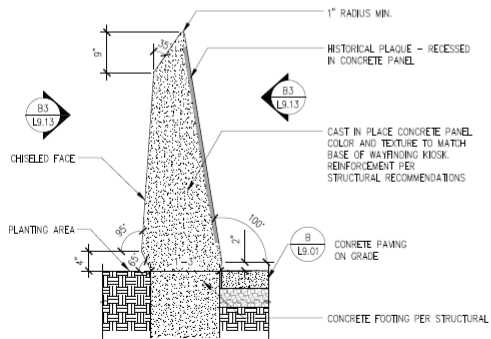
A6 ARMREST – IMAGE TO ILLUSTRATE DESIGN INTENT ONLY



A3 RENDERING

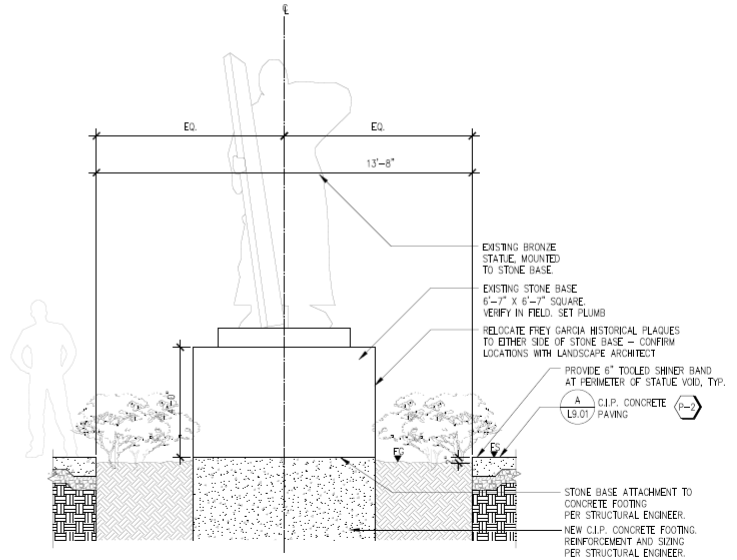


B2 FRONT ELEVATION
1/2" = 1'-0"



B1 SECTION
1/2" = 1'-0"

B HISTORICAL PLAQUE PANEL
AS NOTED



A RELOCATED STATUE (FRAY GARCIA)
1/2" = 1'-0"